

Date: 10/3/18
Time: 2:59:46 PM

General Notes

Dimensions provided shall take precedence over scale. Contractor to verify all dimensions of Building Designer and Consultants drawings prior to work commencement. Any discrepancies are to be reported immediately. Any notes elsewhere on the plans that exceed the requirements stated in the general notes take precedence. Prior to any alterations or modifications of plans or details on site, Contractor(s), tradesperson(s), or homeowner(s) must contact the Building Designer to confirm Building Code requirements and to maintain accuracy and completeness of the plans.

All references to the "British Columbia Building Code" (B.C.B.C.) are for its most current edition or published revision thereto, as approved by ministerial order by the Province of British Columbia. Any reference to a dated edition or revision is to be assumed for the equivalent requirement in the most current edition. All work shall comply with the current edition of the "British Columbia Building Code", the rules and customs of best trade practice to be executed by skilled tradespersons, well equipped and adequately supervised. All references to the BCBC is to Division B of the British Columbia Building Code unless otherwise noted.

Surveyor and/or Contractor to confirm all aspects of siting and placement of structure on lot. Designer not responsible for placement. In the event that the proposed new or existing structure does not conform to the requirements of the B.C. Building Code an engineer(s) may be necessary and such services are for the owner's account.

All materials to be of best quality, complying with the applicable sections of the current C.S.A., C.G.S.B. and B.C.B.C. standards. All materials shall be used strictly according to manufacturers printed directions, where not inconsistent with this specification; no dilution permitted except where specified.

Structural Design

Structural is based on criteria stated in Part 9 of the 2012 B.C. Building Code. Design live loads as follows:

Table with 3 columns: Design load, Value 1, Value 2. Includes Design main floor load, Design bedroom floor load, Design decks and balconies, Design roof load.

For heavier snow loading, drawings must be revised. All interior and exterior wall bracing to resist lateral loads to comply with B.C.B.C. 9.23.13. and to be designed by structural engineer unless noted elsewhere. Structural Engineering and truss manufacturers drawings to take precedence over structural design stated within.

Concrete

All concrete used for footings and foundations is to be not less than 15 MPa @ 28 days unless otherwise noted. All concrete used for floors is to be not less than 20 MPa @ 28 days unless otherwise noted. All concrete used for carport, garage floors and exterior steps to be a min. 32 MPa @ 28 days. Exterior stairs, garage and carport slabs air entrainment of 5-8% required. All foundations and footings to be carried down to solid undisturbed bearing.

Rough Carpentry

All construction and materials to comply with the "approved" current issue and amendments of C.W.C. and B.C.B.C. Pre-Manufactured homes and walls to comply with B.C.B.C. and C.S.A. requirements. All structural framing members are sized for standard grade No. 2 better Spruce-Pine-Fir (in accordance with L.G.A. standard grading rules for Canadian Lumber) except where specifically noted otherwise. Framing contractor is to provide backing for all plumbing accessories, shelving, curtain rods, cabinets, etc. Contractor shall be responsible for the proper setting out of all work and ensure no eccentric loads occur.

Fire Safety

All concealed spaces to be fireblocked in compliance with B.C.B.C. 9.10.16. Fire block materials to comply with B.C.B.C. 9.10.16.3.

All rated partition walls to have solid blocking installed over within floor joist cavity. Contractor to ensure all rated partition walls to run uninterrupted to underside of roof sheathing. Rated wall assemblies must run continuous behind tub surrounds and stairs and must contain solid fire blocking continuous at interface with rated horizontal floor assemblies. No combustible plumbing is to be installed in rated wall assemblies. All penetrations in rated wall assemblies to be fire protected and caulked. All doors, dampers & other closures in fire separations must comply with B.C.B.C. 9.10.13.

All duct chases must not penetrate rated wall assemblies and are to be directed to exterior within self-contained suite.

Secondary Suites

Secondary suites to comply with B.C.B.C. 9.37.

Secondary suite to be heated by independent electric baseboard heating system. Secondary suite to have a separate Principal Exhaust Fan and Passive Supply Ventilation. One interconnected photoelectric smoke alarm to be installed in both the secondary suite and the primary residence in compliance with B.C.B.C. 9.37.2.19 (1) and (2) Fire separation between primary dwelling and secondary suite to have a 30 minute F.R.R. unless noted elsewhere. Door(s) between primary dwelling and secondary suite are to be 20 Minute F.R.R. Solid Core Wood Door and to be gas tight with a self closing device. Door(s) to have bolt lock hardware installed with bolt turn on the property owner side.

Secondary suite Primary Exhaust Fan on/off switch to be mounted in the primary residence. On/Off switches to be labeled "PRIMARY EXHAUST FAN FOR SECONDARY SUITE". All duct chases must not penetrate rated wall assemblies and are to be directed to exterior within self-contained suite. Any ducts that penetrate the rated wall assembly as to be fitted with fire dampers and a duct-type smoke detector to prevent the circulation of smoke in compliance with B.C.B.C. 9.37.2.17.(1).

Water line to have separate shut off valves for main and suite. No combustible plumbing to penetrate the underside of a rated ceiling assemblies.

Doors, Windows, And Skylights

All windows, doors, and skylights to meet the requirements laid forth in B.C.B.C. 9.7. and 9.36.

All manufactured windows, doors and skylights to comply B.C.B.C. 9.4.7.1.(1)(a) and with AAMA/WDMA/CSA 101/1.S.2/A440,"NAFS-North American Fenestration Standard/Specification for Windows, Doors, and Skylights", & A440S1-09 "Canadian Supplement to...NAFS..."

The following window requirements are derived from B.C.B.C. Table C-4 as per B.C.B.C. 9.7.4.3. and are to be used to satisfy the requirements of "NAFS": Langford, CLASS R, DP 760, PG 20, WATER RESIST. 220, A2.

Minimum Thermal Resistance ratings of windows as per B.C.B.C. 9.36.

Table with 3 columns: Windows and Doors, U-value, RSI value. Includes Front Entrance Door, Glass Block, Skylight, Skylight shaft walls, Overhead Garage Doors.

Site built doors and windows to comply with B.C.B.C. 5.10.2. and 9.36.2.7.(3) Flashing to be above all doors and windows not directly protected by eaves. Limited Water doors are to be used for exterior garage utility doors and the door(s) separating the residence and the garage, and wherever allowed by B.C.B.C. 9.7.4.2.(2) All interior doors to clear finish flooring by 12mm (1/2") to allow for unobstructed air distribution.

Insulation and Vapour Barrier

Insulation to be continuous around all openings. Effective R.S.I values are calculated using the Parallel Path Method, with all parts of the assembly taken into account. Any deviation from listed assemblies must be reported to the Building Designer for R.S.I. value recalculation. Refer to section notes for assemblies and to the Thermal Resistance of Wall, Ceiling, and Floor Assemblies calculations listed later on page. Insulation values not to be decreased below required levels at any point around major penetrations, wall-floor connections, window/door headers, behind electrical breaker boxes, or around plumbing or ducting in walls. Refer to B.C.B.C. 9.36. for exceptions.

Insulation Values are based of those in B.C.B.C. 9.36 for Zone 4 (<3000 Heating Degree Days in Celsius Degree-Days):

Table with 3 columns: Trusses or Rafter with Ceiling Joists Roofs (attic spaces), Floors over unheated/ exterior spaces, Floors over Garages, Cathedral Vaults or Flat roofs, Exterior Walls above grade, Between Garage and Primary Residence, Foundation Walls below grade or <600mm above grade, Heated Concrete Slabs (beneath entire slab), Concrete Floor Slabs <400mm below grade, Concrete Floor Slabs >400mm below grade.

All "rigid insulation" to be extruded polystyrene insulation. If contractor/builder uses expanded polystyrene insulation they must use equivalent RSI values as shown in the insulation table on this page and is to ensure correct RSI values are used. 0.98 RSI (R 5.5) of to be installed between concrete foundation wall and concrete slab connections to provide a thermal break where applicable. Window Headers to be insulated with extruded polystyrene insulation. All trimmer joists to be have 64mm (2 1/2") extruded polystyrene insulation; or R20 fibre glass batt insulation.

Vapour Barriers to comply with B.C.B.C. 9.25.4. Tape all seams of extruded polystyrene insulation, fill with spray applied insulation at perimeters to prevent air spaces where required. Extruded Polystyrene to comply with the requirements of B.C.B.C. 9.25.4.2.(4) to fulfill the requirements of a vapour barrier. 6 mil polyethylene vapour barrier to be supplied uninterrupted around all openings. Polyethylene vapour barrier to be structurally supported, by being attached to studs, light fixtures, and plugs. Contractor to supply blocking as required.

Mechanical

Plumbing installation shall comply with B.C.B.C. Part 7, B.C.B.C. 9.31, 9.36.4, and the "Canadian Electrical Code". Plumbing contractor is to allow for (min.) 2 exterior hose bibs at convenient locations. Contractor to provide 1 hot water heater, of type listed below, inside the main residence or in location shown on plans. Hot water heater to be secured to structure with metal straps designed to resist lateral loads.

Hot Water Heater (Primary Residence): (Tankless Type-Gas) See B.C.B.C. Table 9.36.4.2 Input ≤ 73.2 kW, Performance Standard(s): CAN/CSA-P-7 Performance Requirement(s): EF ≥ 0.8 Input > 73.2 kW, Performance Standard(s): ANSI Z21.10.3/CSA 4.3 and DOE 10 CFR, Part 431, Subpart G Performance Requirement(s): Et ≥ 80%

Hot Water Heater (Secondary Suite): (Storage Type-Electric) See B.C.B.C. Table 9.36.4 Size:152L (40 imp. gal.), Input 240VAC, ≤12kW, Performance Standard(s): CAN/CSA-C191 Performance Requirement(s): Standby loss (max.): 55 (Top Inlet), 70 (Bottom Inlet)

Heating and/or air conditioning systems are to comply with B.C.B.C. 9.32.3. and 9.36.3. All duct sizes, fans and ventilation requirements to be verified prior to installation and to install to manufacturers specs. Heat pump (Air Cooled) split system and gas-fired ducted furnace combination system to be installed in primary residence. Heat pump and gas-fired furnace combination system to be installed and to comply with B.C.B.C. 9.36.3. and provide supply air to the primary residence in compliance with B.C.B.C. 9.32.3.4.(2). Secondary Suite to be Passively vented in accordance with B.C.B.C. 9.32.2.2. and to be heated using electric baseboards.

Heat pump (split system): See B.C.B.C. Table 9.36.3.10. Heating or Cooling Capacity: ≤ 19 kW Standard: CAN/CSA-C656 Performance Requirements: SEER = 14.5, EER = 11.5 HSPF = 7.1 (region 5 in standard)

Heat pump (all systems): See B.C.B.C. Table 9.36.3.10. Heating or Cooling Capacity: > 19 kW Standard: CAN/CSA-C746 Performance Requirements: See Level 2 in standard

Gas-fired ducted furnace: See B.C.B.C. 9.36.3.10. Heating or Cooling Capacity: ≤ 117.23 kW Standard: ANSI Z83.8/CSA- 2.6 Performance Requirements: Et ≥ 81%

All Fans and ducts are to meet the minimum requirements of the B.C.B.C. and manufacture. Fan and duct sizes provided are minimums as per the BCBC 9.32. for the spaces. Mechanical tradesperson to verify actual sizes, speeds and location of fans and ducts on site.

Kitchen fan: See B.C.B.C. Table 9.32.3.6., Table 9.32.3.8.(3). 47 Litres per second intermittent @ 50pa external static pressure Duct size (Diameter): 125mm rigid, 150mm flexible. Duct shall be noncombustible, corrosion resistant and cleanable, equipped with a grease filter at air intake, and not exceed 12m and 2 elbows. (Equivalent length of 28m)

Fan 1 (Bathroom Fan) See B.C.B.C. Table 9.32.3.6., Table 9.32.3.8.(3). 23 Litre per second intermittent or 9 Litre per second continuous @ 50pa External static pressure. Duct size (Diameter): 100mm rigid, 125mm flexible. Intermittent control to be wall mounted on/off switch. Duct not to exceed 16m and 2 elbows. (Equivalent length of 32m)

Fan 2 (Principal Exhaust Fan) See B.C.B.C. Table 9.32.3.5. Table 9.32.3.8.(3). Main Residence: 35 Litres per second continuous @ 50pa External static pressure Size (Diameter):100mm rigid, 125mm flexible. Size (Area): 79cm2 rigid, 123cm2 flexible. Duct not to exceed 5m and 0 elbows. (Equivalent length of 15m) Fan to run continuously, with on/off switch wall mounted beside the electrical breaker panel. Contractor to ensure switch is labelled "PRINCIPAL VENTILATION EXHAUST FAN MAIN". Fan to have a sound rating of 1.0 sones.

Fan 3 (Suite Principal Exhaust fan) See B.C.B.C. Table 9.32.3.5. Table 9.32.3.8.(3). 14 Litres per second continuous @ 50pa External static pressure Size (Diameter):100mm rigid, 125mm flexible. Size (Area): 79cm2 rigid, 123cm2 flexible. Duct not to exceed 22m and 0 elbows. (Equivalent length of 32m) Fan to run continuously, with on/off switch wall mounted beside the electrical breaker panel. Contractor to ensure switch is labelled "PRINCIPAL VENTILATION EXHAUST FAN SUITE". If fan is mounted in a bathroom and principal ventilation exhaust fan vents at a lower rate than 23 L/s, contractor to ensure fan includes control for both a standard bathroom fan as well as for the principal ventilation located in separate places. Fan to have a sound rating of 1.0 sones.

Vent 1: (Passive Supply Grilles in Secondary Suite) Passive Supply grilles to be location 1800mm (6'-0") (minimum) off the floor and to have an unobstructed area of 25cm²

Vent 2 (Passive Supply Grilles in unheated space) Passive Supply grilles to have an unobstructed area of 0.1 m²

Electrical Panel

Electrical Facilities to comply with B.C.B.C. 9.34 and 9.36. All electrical facilities, panels, lighting and any fixed equipment shall comply with the Canadian Electrical Code, BCBC 9.34 and 9.36. and shall be installed by a certified electrician. A registered professional to design and/or verify work as required by the local authority having jurisdiction.

Thermal Resistance of Wall, Ceiling, and Floor Assemblies.

All Thermal resistance calculations where done using the parallel path method as described in B.C.B.C A-9.36.2.4.(1)

RSI_parallel = 100 / (% area of framing / RSI_f + % area of cavity / RSI_c)

Common Building Materials

The following is a list of building materials called for in the plans. The RSI Values shown are based of those provided in B.C.B.C. Table A-9.36.2.4.(1)D and have either been pre-calculated using the listed thickness shown or by the per mm rate multiplied by the thickness.

Table with 3 columns: Siding, Sheathing, Insulation, Structural Framing Members, Air Films and Air Cavities, Interior Wall and Ceiling Finishes, Miscellaneous materials. Lists materials like Concrete Fibre Siding, Plywood, Fibre Glass Batt Insulation, etc.

Assembly Calculations for Effective RSI Values.

Raised Heel Wood Trusses @ 610mm (24") with Fibre Glass Loose Fill Insulation (R40). Includes RSI calculation diagram and material list table.

Raised Heel Wood Trusses @ 610mm (24") with R40 Batt Insulation. Includes RSI calculation diagram and material list table.

Exterior 2x6 Stud Wall @ 406mm (16") with R19 Fibre Glass Batt Insulation, and Clad with 51mm Thick (2") Pre-Manufactured Stone Vaneer. Includes RSI calculation diagram and material list table.

Assembly Calculations for Effective RSI Values.

Exterior 38mmx140mm (2x6) Stud Wall @ 406mm (16") with R19 Fibre Glass Batt Insulation, and Clad with Concrete Fibre Siding

RSI_parallel calculation diagram and material list table for Exterior 38mmx140mm Stud Wall.

Wall between Garage and Primary Residence, 38mmx140mm (2x6) Stud Wall @ 406mm (16") with R19 Fibre Glass Batt Insulation

RSI_parallel calculation diagram and material list table for Wall between Garage and Primary Residence.

200mm (8") Thick Foundation Walls with 38mm x 89mm (2x4) Furring @ 610mm (24") with R12 Fibre Glass Batt Insulation

RSI_parallel calculation diagram and material list table for 200mm Thick Foundation Walls.

Floor between Garage and Primary Residence, 38mmx235mm (2x10) @ 406mm (16") with R31 Fibre Glass Batt Insulation

RSI_parallel calculation diagram and material list table for Floor between Garage and Primary Residence.

Floor Cantilever, 38mmx235mm (2x10) @ 406mm (16") with R31 Fibre Glass Batt Insulation

RSI_parallel calculation diagram and material list table for Floor Cantilever.

PROFESSIONAL SEALS

Table for Professional Seals with columns for Name, Title, and Signature.

CONSULTANTS

Table for Consultants with columns for Name, Title, and Contact Information.

LIST OF DRAWINGS

Table for List of Drawings with columns for Drawing ID, Description, and Date.

ISSUED/REVISED

Table for Issued/Revised with columns for No., Date, and Issued/Revised description.

General Contractor and or Owner to verify and thoroughly review all aspects of plan prior to commencement and setting out of work. Any discrepancies are to be reported to building Designer immediately. Building Designer not liable for changes made to plan on site or failure to report discrepancies. Refer to General notes included on plan.

Structural Engineer to review plan (where required), and specify structure as deemed necessary. It is the responsibility of the owner or contractor to verify and commission all engineering requirements with municipal building departments prior to starting work.

Truss Manufacturer to review plans to verify roof design where eng. roof trusses are shown, and to contact building designer to advise if revisions are necessary.

Note: Where final construction differs from approved working drawings following an on-site alterations or modification executed by the contractor or owner, as-built revisions to plans for municipal submission shall be for the account of the contractor or owner. Such plan revisions shall be provided at the hourly Victoria Design Group technical drafting rate applicable at the time of revision.

Project information block including Victoria Design Group logo, drawing number (7580-37), sheet number (A1 of A6), date (Sept 29, 2018), scale (As Shown), and drafter (M.R.B.).

PROJECT Proposed Residence: Langdon Weir Construction Ltd. Lot 37 Latoria Rise Langford, B.C.

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SKETCH PLAN OF PROPOSED LOT 37

CIVIC: 3535 PAPERBARK CRESCENT

LOT 37, SECTION 70,

METCHOSIN DISTRICT, PLAN 1957

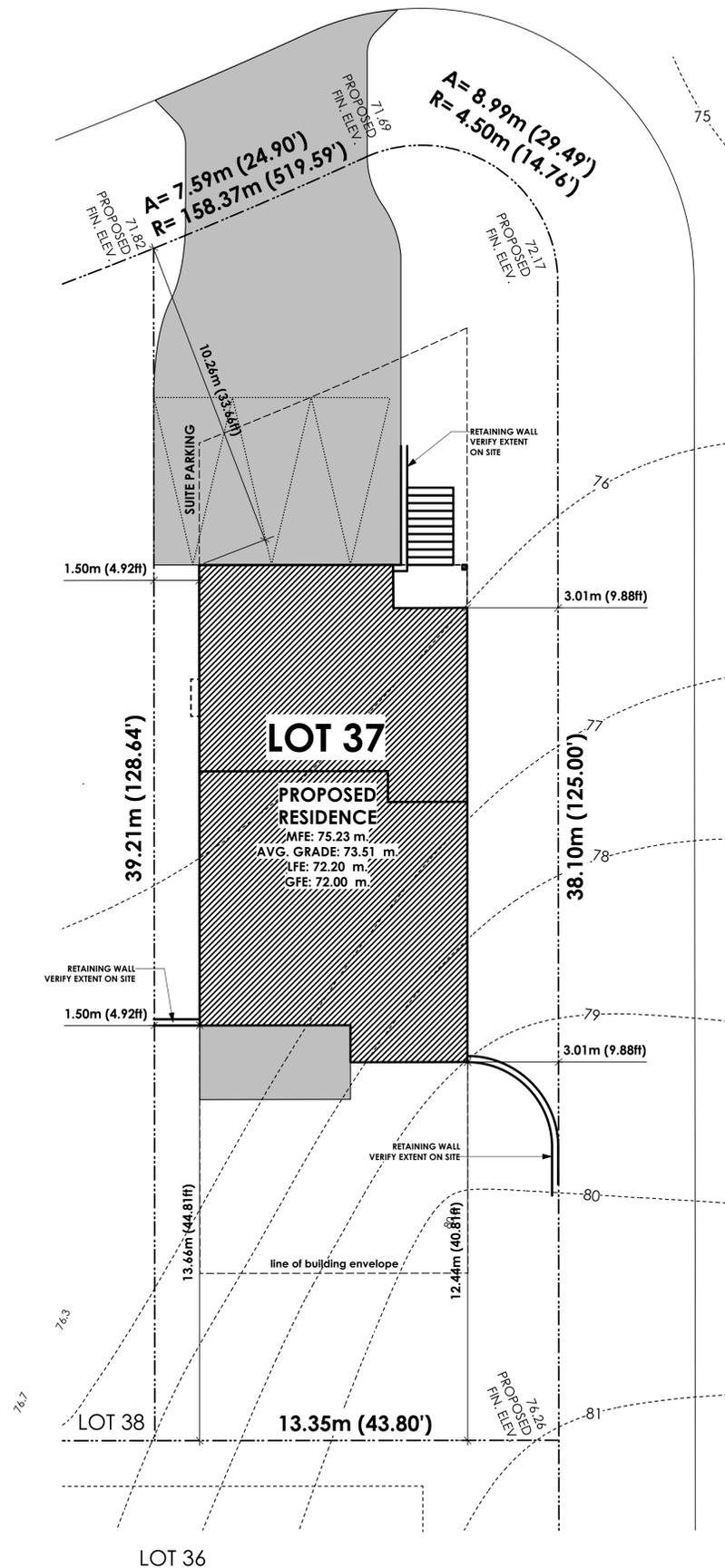
Parcel Identifiers: 029-862-311

SITE DATA	RR6A	LOT 37
ITEMS	PERMITTED	PROPOSED
LOT AREA		550.40 sq.m.
LOT COVERAGE	max. 50.00 %	25.88 %
HEIGHT	max. 9.00 m.	8.34 m.
SETBACKS		
- FRONT (NORTH)	4.50 m.	10.26 m.
- REAR (SOUTH)	5.50 m.	12.44 m.
- SIDE (WEST)	1.50 m.	1.50 m.
- SIDE (EAST)	3.00 m.	3.01 m.
FLOOR AREA		
- UPPER		109.00 sq.m.
- MAIN		120.89 sq.m.
- LOWER		66.89 sq.m.
- GARAGE		51.22 sq.m.
SUBTOTAL FLOOR AREA		348.00 sq.m.

LEGEND

Elevations are geodetic referred to Langford Integrated Survey

1
A2
Siteplan
Scale: 1:100



PROFESSIONAL SEALS

CONSULTANTS

LIST OF DRAWINGS

Item	Description
A1	General Notes
A2	Siteplan
A3	Elevations
A4	Foundation Plan & Lower Floor Plan
A5	Main Floor Plan & Upper Floor Plan
A6	Cross Sections
D1	Construction Details
D2	Construction Details

ISSUED/REVISED

No.	DATE	ISSUED/REVISED
01	09/28/18	I.F.A (Issued for approval)
02	10/03/18	B.P. Submission

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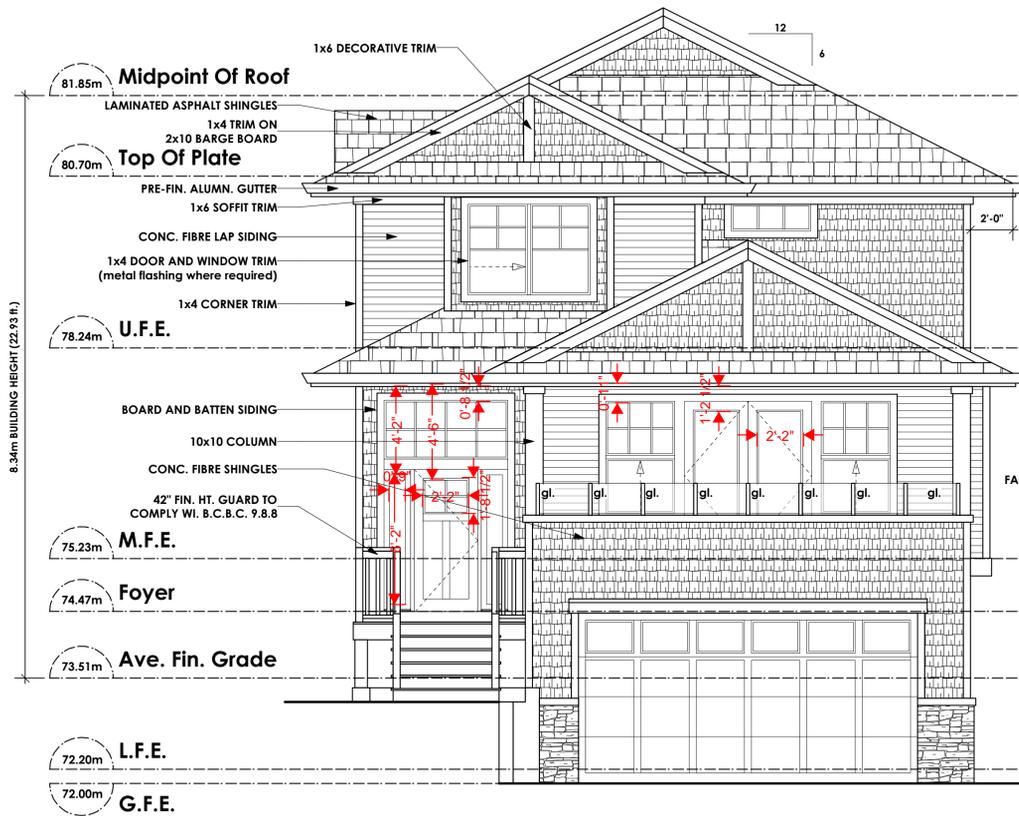
Truss Manufacturer to review plans to verify roof design where eng. roof trusses are shown, and to contact building designer to advise if revisions are necessary.

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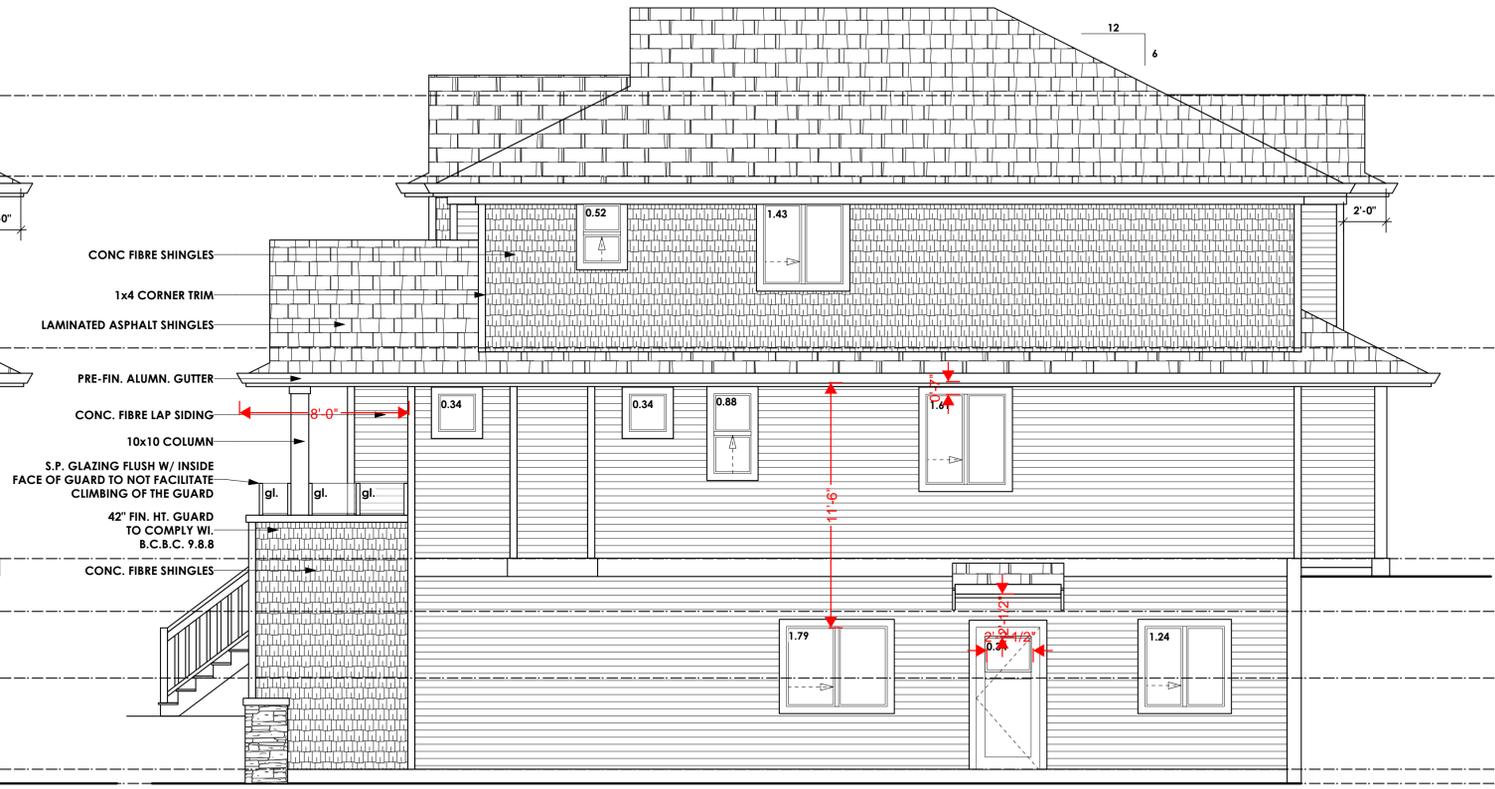
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<p>VICTORIA DESIGN GROUP 103 - 891 ATLANTIC AVENUE VICTORIA, B.C. V8B 0A6 PH: 250-382-7374 FAX: 250-382-7364 WWW.VICTORIADESIGNGROUP.CA</p>	DRWG NO. 7580-37
	SHT. NO. A2 OF A6
	DATE Sept 29, 2018
	SCALE As Shown
	DRAWN M.R.B.
	REVIEWED BY

PROJECT
Proposed Residence:
Langdon Weir
Construction Ltd.
Lot 37 Latoria Rise
Langford, B.C.

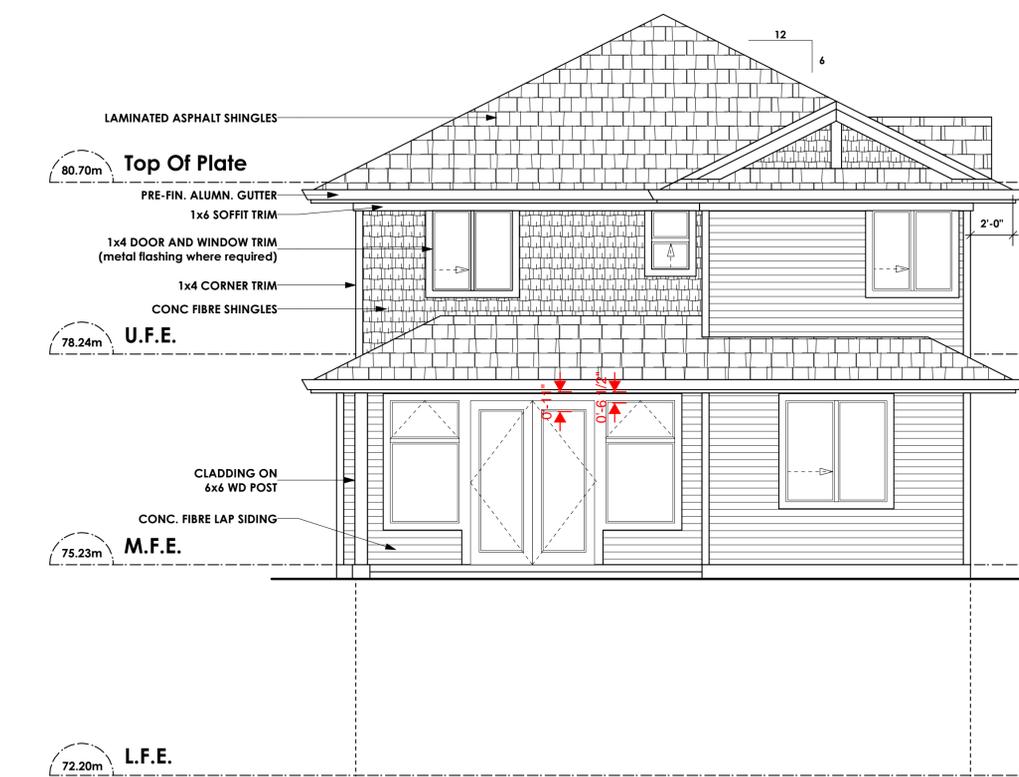


1 **Front Elevation**
A3 Scale: 1/4" = 1'-0"

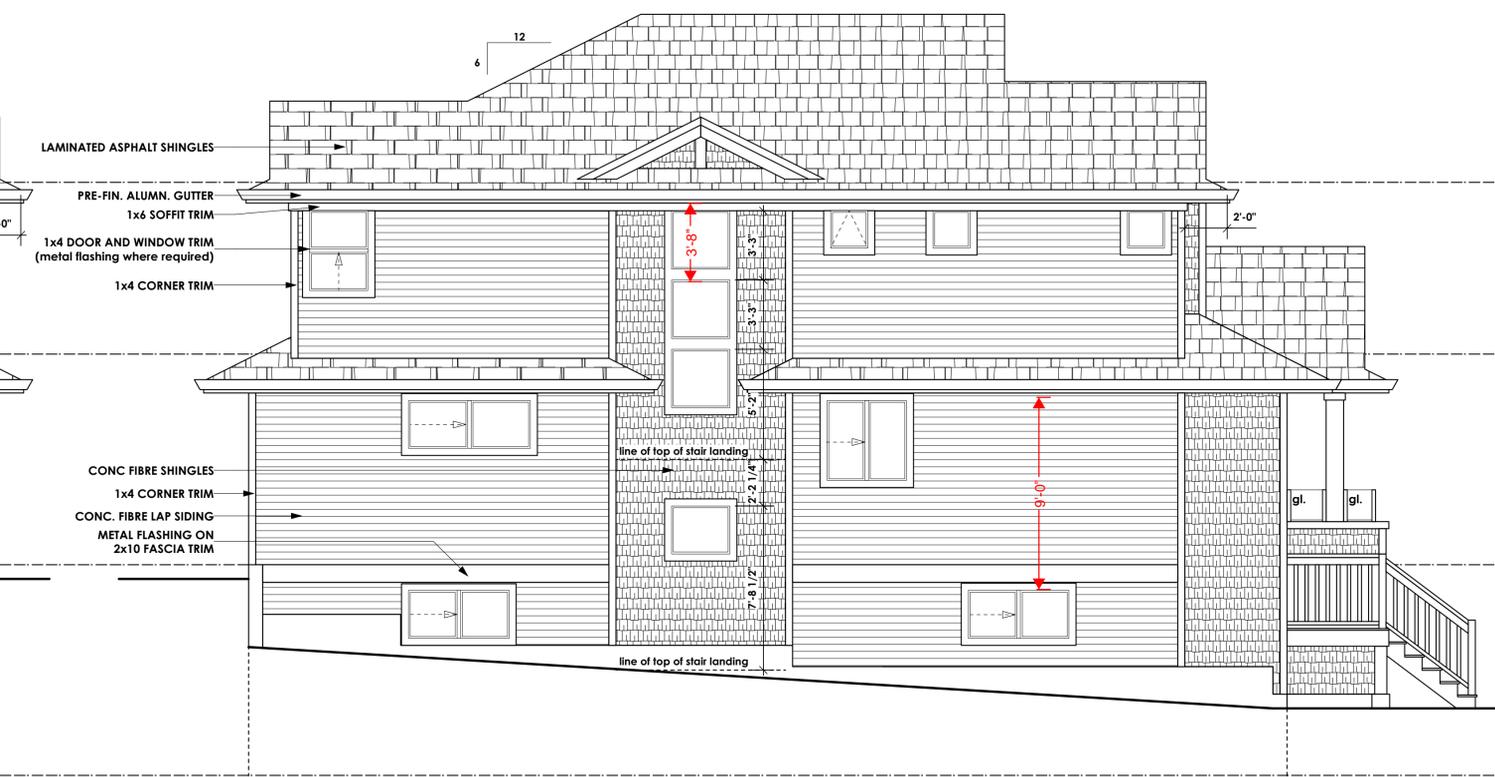


2 **Right Elevation**
A3 Scale: 1/4" = 1'-0"

Limiting Distance	1.50	m.
Exposed Building Face	125.98	sq.m.
Allowable Openings	7	%
Allowable Opening Area	8.81	sq.m.
Proposed Openings	8.49	sq.m.



3 **Rear Elevation**
A3 Scale: 1/4" = 1'-0"



4 **Left Elevation**
A3 Scale: 1/4" = 1'-0"

PROFESSIONAL SEALS

CONSULTANTS

LIST OF DRAWINGS

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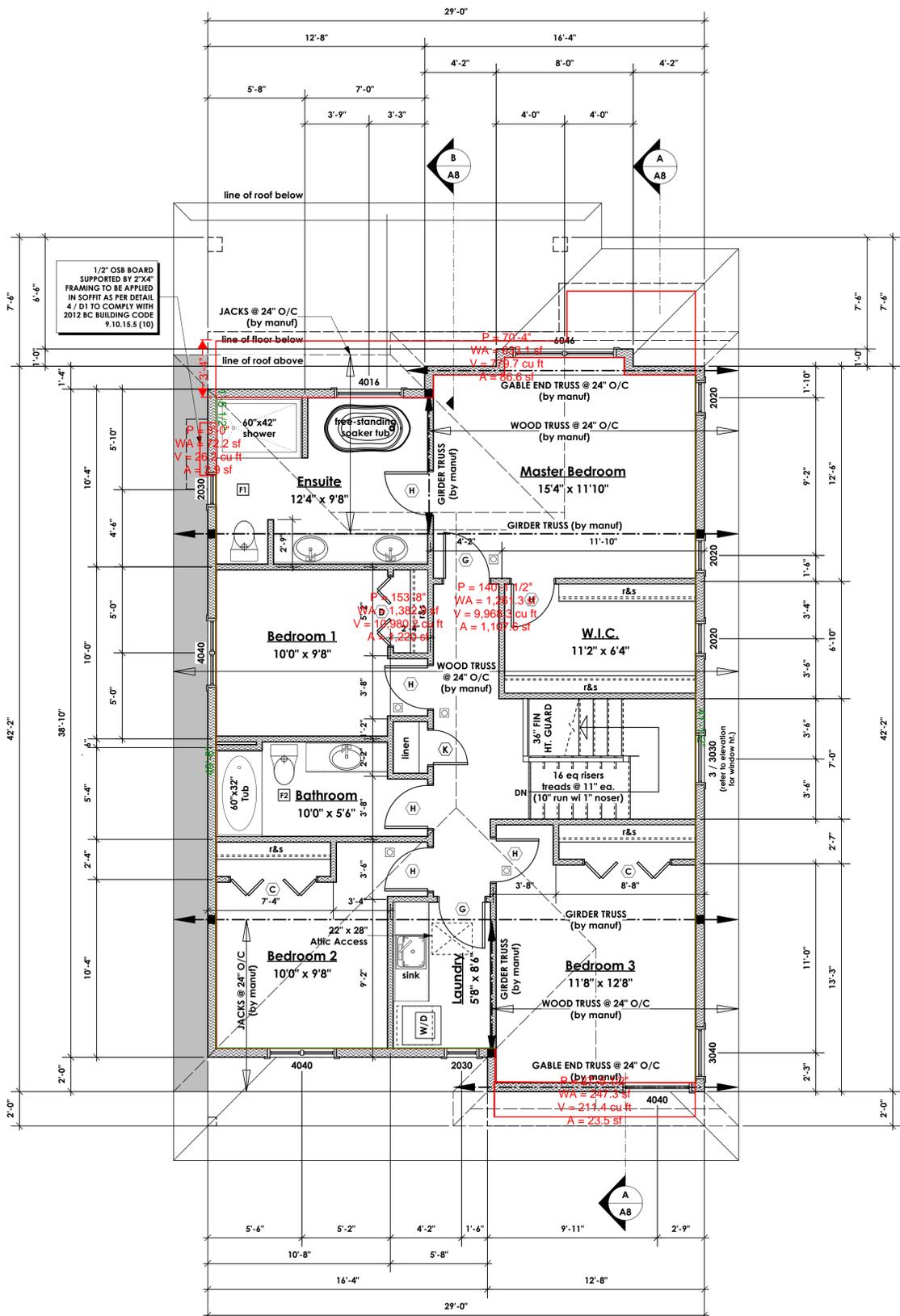
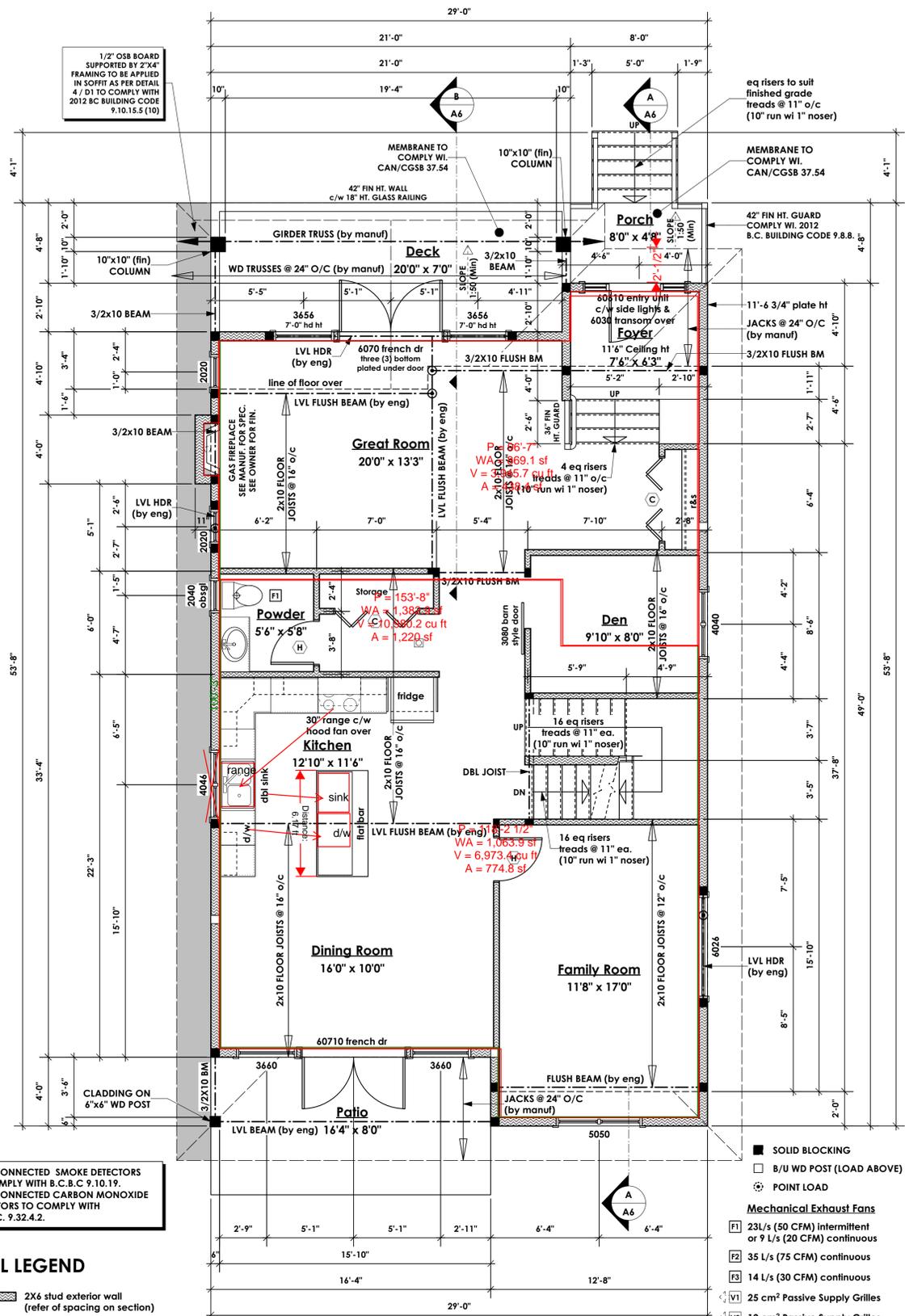
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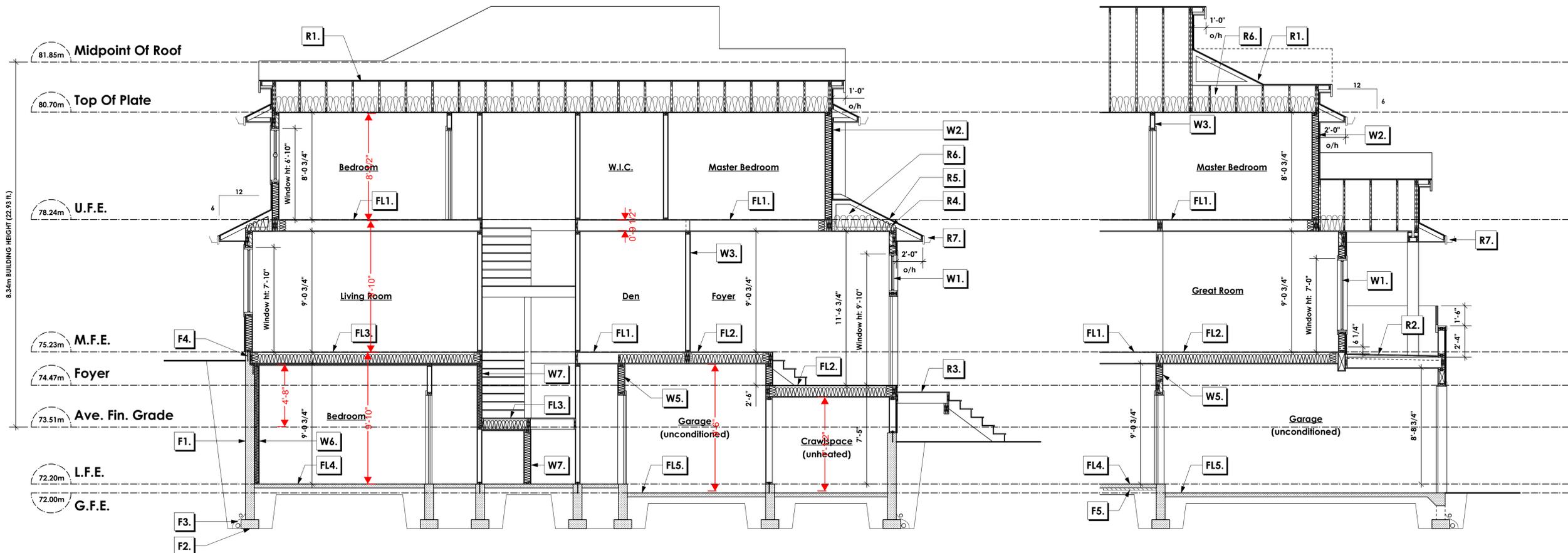
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DRWG NO. **7580-37**
SHT. NO. **A3 OF A6**
DATE **Sept 29, 2018**
SCALE **As Shown**
DRAWN **M.R.B.**
REVIEWED BY

PROJECT
**Proposed Residence:
Langdon Weir
Construction Ltd.
Lot 37 Latoria Rise
Langford, B.C.**





1 Section A-A
Scale: 1/4" = 1'-0"

Section Notes
ALL STRUCTURE TO BE VERIFIED OR DESIGNED BY A STRUCTURAL ENGINEER.
STRUCTURAL ENGINEER TO LOCATE AND DESIGN REQUIRED EXTERIOR
AND INTERIOR WALL BRACING TO RESIST LATERAL LOADS IN COMPLIANCE
WITH B.C. BUILDING CODE 2012 9.23.13.2 AND SUPPLY DETAILS IF REQUIRED

2 Section B
Scale: 1/4" = 1'-0"

Roofs

- R1. LAMINATED ASPHALT SHINGLES ON 1/2" ORIENTED STRAND BOARD C/W "H" CLIPS WD TRUSSES (DESIGNED BY MANUF.) 14 1/2" FIBRE GLASS LOOSE FILL INSULATION (ALLOW FOR SETTLING) 6 MIL POLY'N V.B. 5/8" GYPSUM BOARD
- R2. DECKING MEMBRANE (to comply with CAN/CGSB 37.54) ON 3/4" ORIENTED STRAND BOARD C/W "H" CLIPS SLOPED TAPERS TO PROVIDE MIN. 1:50 SLOPE ON 2x10 DECK JOISTS @ 16" O.C. 6 MIL POLY'N V.B. 1/2" GYPSUM BOARD (provide adequate membrane "upstand" @ ext. wall.)
- R3. DECKING MEMBRANE (to comply with CAN/CGSB 37.54) ON 3/4" ORIENTED STRAND BOARD C/W "H" CLIPS SLOPED TAPERS TO PROVIDE MIN. 1:50 SLOPE ON 2x10 DECK JOISTS @ 16" O.C. (provide adequate membrane "upstand" @ ext. wall.)
- R4. PROVIDE 2 1/2" (63mm) CLEAR BETWEEN R-20 INSULATION AND SHEATHING. (min. R-20 @ roof-wall connection for 4'-0" (1.2m) around perimeter of building. air ventilation baffles to be installed where required in as per BCBC 9.19.)
- R5. EAVE PROTECTION CONT. UP ROOF SLOPE FOR 12" PAST EXTERIOR WALL.
- R6. PROVIDE 1 SQ.FT. ATTIC VENT PER 300 SQ.FT. OF INSULATED AREA MIN. 25% OF REQUIRED TO BE @ TOP AND BOTTOM (to comply w/ B.C. bldg. code 9.19.1)
- R7. PRE-FN. FASCIA GUTTER 2x8 FASCIA BD. 2x4 SUB. FASCIA BD. VENTED SOFFIT (see contractor)

Floors

- FL1. FINISHED FLOORING ON 5/8" T&G PLYWOOD OR EQ. (nailed & glued to floor struct. below) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (max) 1/2" GYPSUM BOARD
- FL2. FINISHED FLOORING ON 5/8" T&G PLYWOOD OR EQ. (nailed & glued to floor struct. below) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (max) R-31 INSULATION 5/8" X-TYPE GYPSUM BOARD (between garage and living space)
- FL3. B.C. BUILDING CODE 2012 (TABLE A-9.10.3.1.B) RATED FLOOR ASSEMBLY F9d FINISHED FLOORING ON 5/8" T&G PLYWOOD OR EQ. (nailed & glued to floor struct. below) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (max) R-28 INSULATION RESILIENT METAL CHANNELS @ 24" O/C 2 LAYERS 5/8" X-TYPE GYPSUM BOARD 1 HOUR F.R.R., 54 S.T.C.
- FL4. 3 1/2" CONCRETE SLAB 6 MIL POLY'N V.B. 6" COMPACTED GRAVEL OR SAND
- FL5. 3 1/2" CONCRETE SLAB 6 MIL POLY'N V.B. 6" COMPACTED GRAVEL OR SAND SLOPE TO DOORS 1"

Walls

- W1. DOUBLE GLAZING ENERGY STAR LOW "E" RATING IN THERMAL BREAK FRAMES 2/2" X 10" LINTEL OVER @ bearing walls only (TYPICAL. w/ 2 1/2" XPS insulation) FLASHING OVER @ EXTERIOR (glazing in all exterior doors & within 3 ft. of exterior doors to be shatterproof (SP)) WINDOW REQUIREMENTS DERIVED FROM BCBC TABLE C-4 AS PER BCBC 9.7.4.3. AND ARE TO BE USED TO SATISFY THE REQUIREMENTS OF AAMA/WDMA/CSA 101/15.2/A440, "WARS"; Langford, CLASS R, DP 960, PG 20, WATER RESIST. 220, A2. RATINGS MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION.
- W2. CONC. FIBRE BOARD ON 9.5mm (3/8") AIR SPACE / STRAPPING 3/8"x2" BORATE TREATED PLYWOOD STRAPPING HOUSE WRAP (A.B.) (TYVEK OR EQ.) 5/8" ORIENTED STRAND BOARD 2x6 STUDS @ 16" O/C R-20 INSULATION 6 MIL. POLYETHYLENE VAPOUR BARRIER 1/2" GYPSUM BOARD (refer to details on D1)
- W3. INTERIOR PARTITION 1/2" GYPSUM BOARD ON EACH SIDE OF 2x4 STUDS @ 16" o/c OR 2x6 STUDS @ 16" o/c (if noted)
- W4. PRE-MANUFACTURED STONE VENEER (installed to manuf. spec) LIME BASED MORTAR SETTING BED ON LIME BASED MORTAR SCRATCH COAST ON METAL LATHE INSTALLED HORIZONTALLY OVERLAP HORIZONTAL AND VERTICAL SEAMS 1" SEMI-RIGID BACK BOARD (HAL-TEX RAINBOARD OR EQ.) 9.5mm (3/8") AIR SPACE / STRAPPING 3/8"x2" BORATE TREATED PLYWOOD STRAPPING HOUSE WRAP (A.B.) (TYVEK OR EQ.) 1/2" PLYWOOD SHEATHING OR EQ. ON 2x6 STUDS @ 16" (as required) (not shown in section)

Foundation Walls

- F1. DAMPROOFING (where required) ON 8" THK. CONC. FOUNDATION WALL C/W 15 M BARS @ 24" o/c B/W
- F2. 16"x 8" CONC. FOOTINGS C/W 2 (TWO) 15m BARS CONT. 3 IN. FROM BOT. ON UNDISTURBED SOIL (SOLID BEARING)
- F3. 4" PERIMETER DRAIN 3" TIGHT PIPE FOR RWL DRAIN ROCK
- F4. ANCHOR BOLTS @ 4.0 FT. o/c MAX c/w SILL GASKETS
- F5. UNDER SLAB INSULATION 2 1/2" (RSI 2.15) EXTRUDED POLYSTYRENE RIGID INSULATION 4'-0" (1.2m) CONT. AROUND PERIMETER UNDER SLAB INSTALLED HORIZONTALLY OR VERTICALLY FOR SLABS ABOVE FROST LINE. (verify with municipality depth of frost line)
- W5. 5/8" X-TYPE GYPSUM BOARD ON 2x6 STUDS @ 16" o/c c/w R-20 INSULATION 6MIL POLY'N V.B. 1/2" GYPSUM BOARD (between garage & living)
- W6. 1/2" GYPSUM BOARD ON 6 MIL. POLY'N V.B. 2x4 STUDS @ 24" o/c c/w R-12 BATT INSULATION 2 PLY 30 MINUTE BUILDING PAPER OR 12.7mm (1/2") AIR SPACE (provide required firestops in wall assemblies to comply with B.C. Bldg. Code 9.10.14.)
- W7. B.C. BUILDING CODE 2012 (A-9.10.3.1.A) RATED WALL ASSEMBLY W1a 1 LAYER 5/8" X-TYPE GYPSUM BOARD ON EACH SIDE OF 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (if noted) c/w 3 1/2" FIBRE GLASS SOUND BATT FRICTION FITTED AND SOLID FILLED 1 HR. F.R.R. 36 S.T.C

PROFESSIONAL SEALS

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02	10/03/18	B.P. Submission

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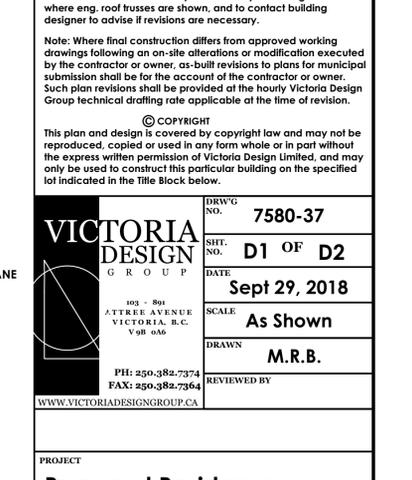
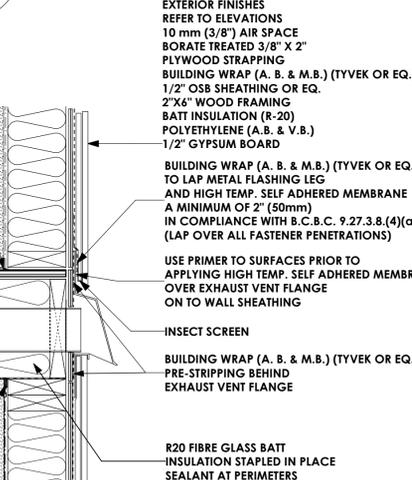
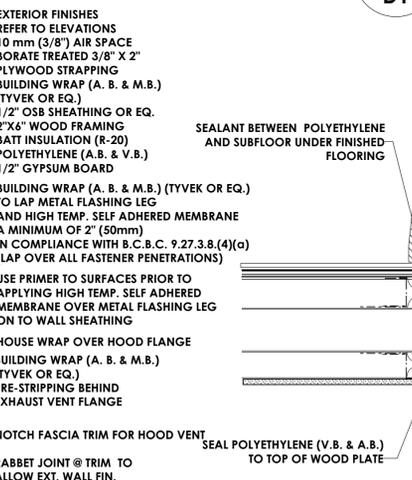
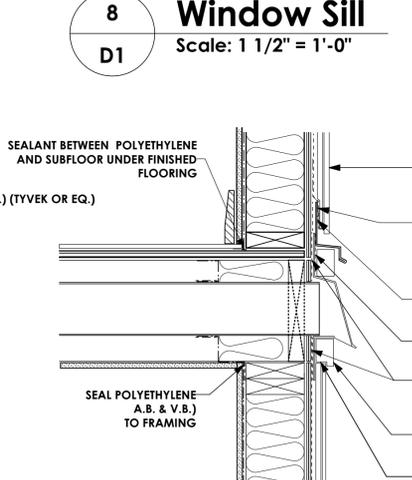
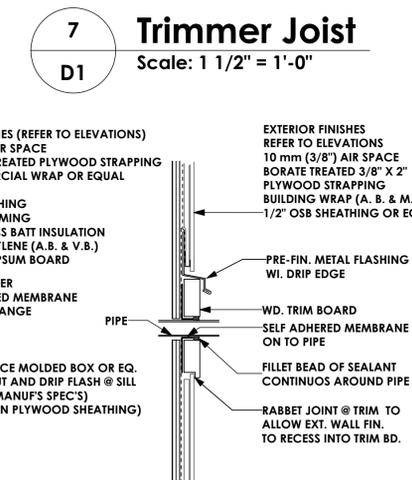
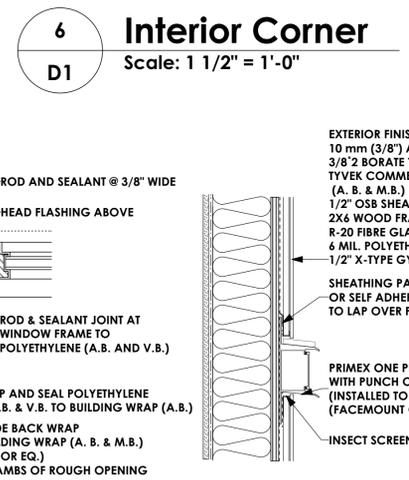
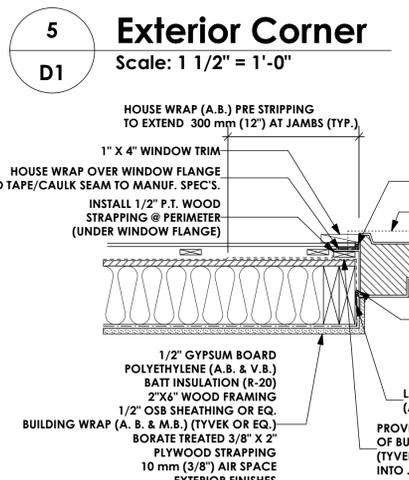
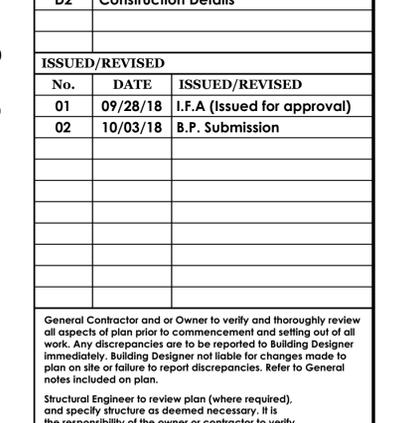
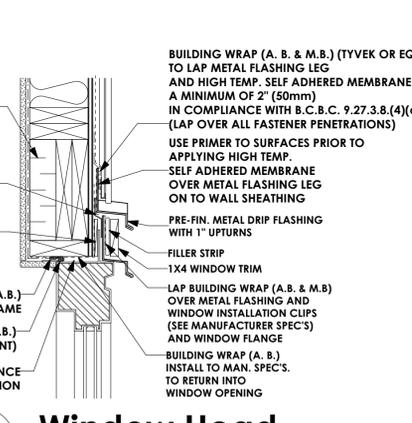
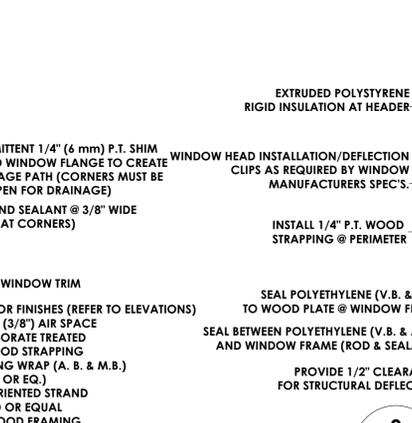
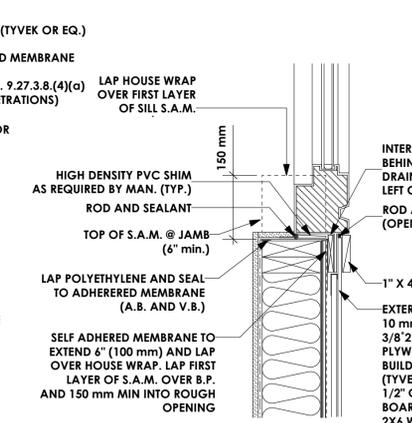
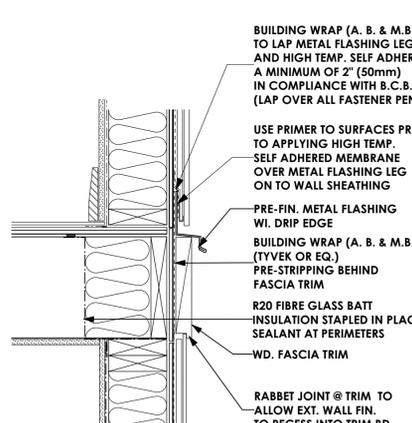
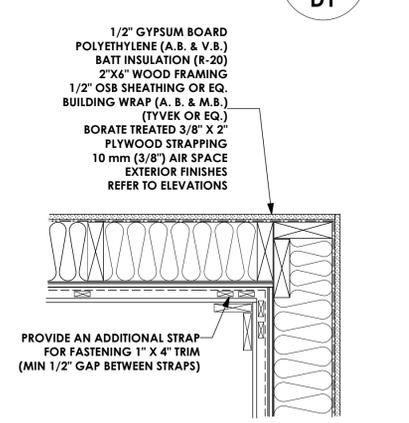
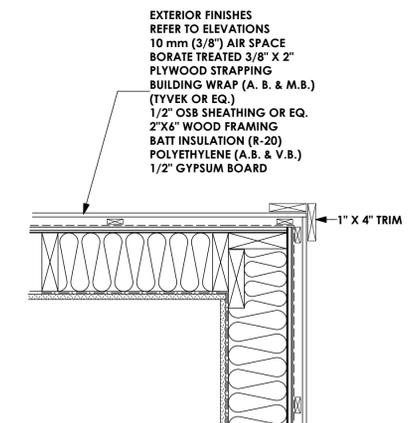
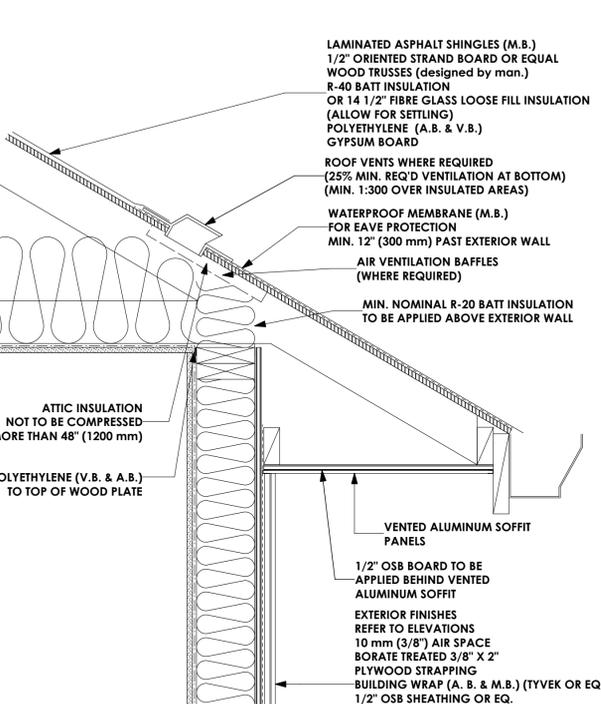
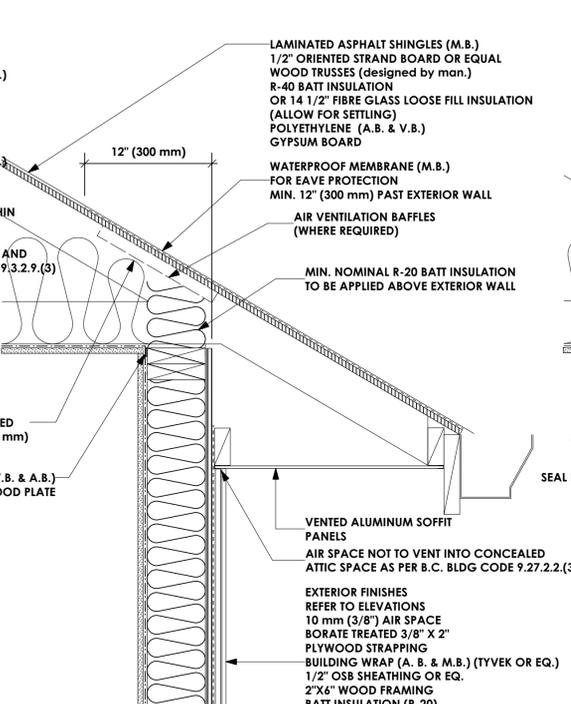
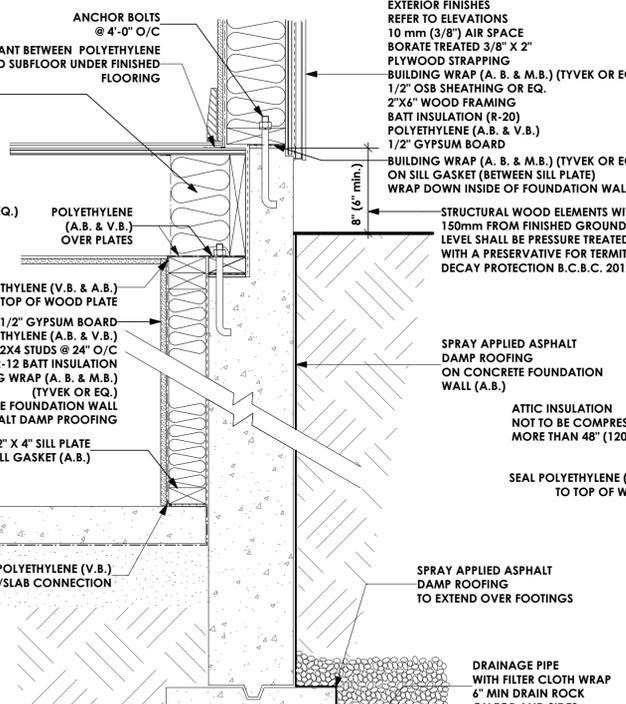
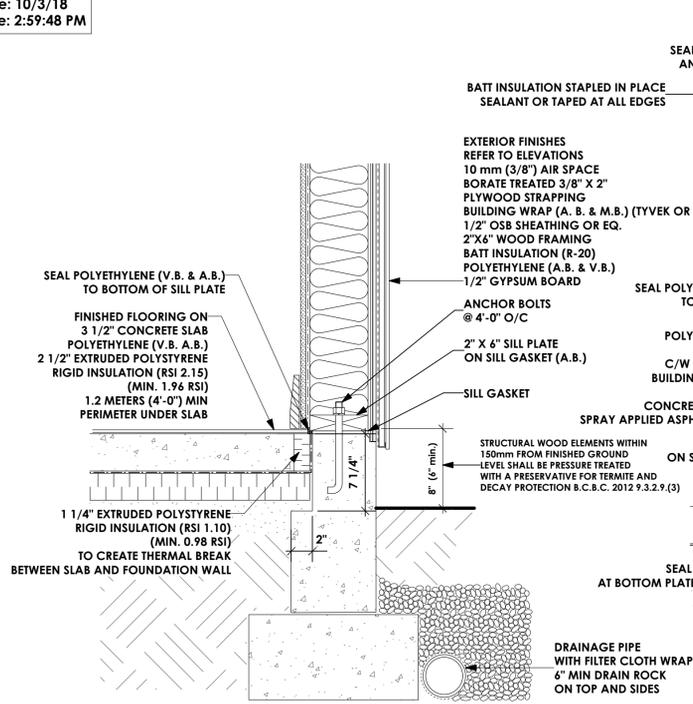
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DRWG NO. **7580-37**
SHT. NO. **A6** OF **A6**
DATE **Sept 29, 2018**
SCALE **As Shown**
DRAWN **M.R.B.**
REVIEWED BY

PROJECT
**Proposed Residence:
Langdon Weir
Construction Ltd.
Lot 37 Latoria Rise
Langford, B.C.**



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CONSULTANTS

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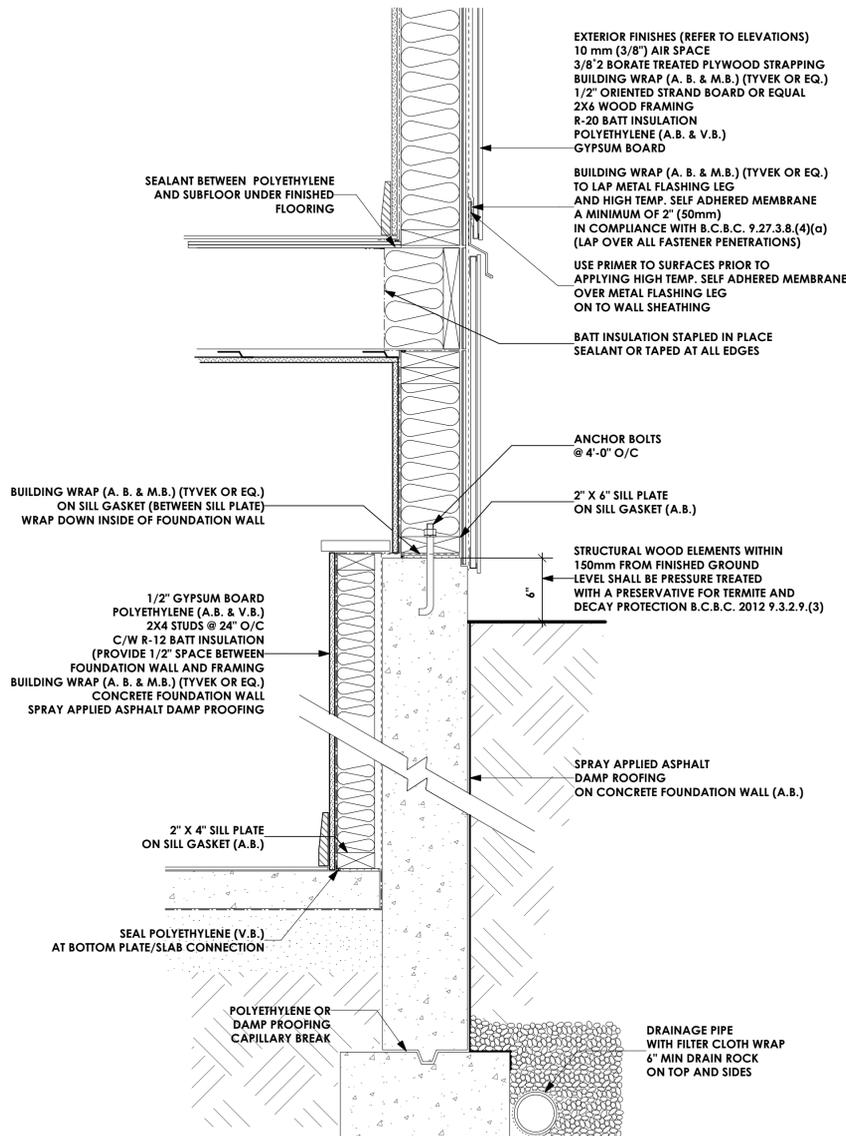
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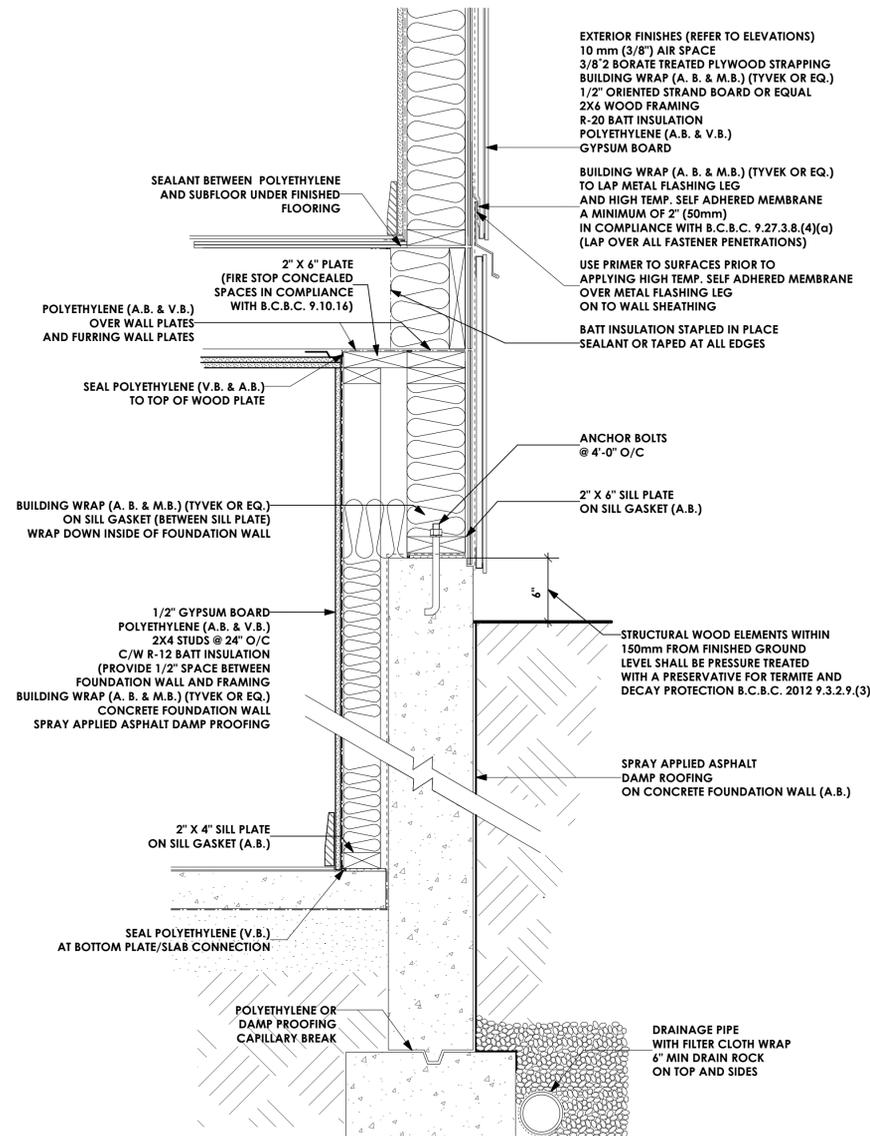
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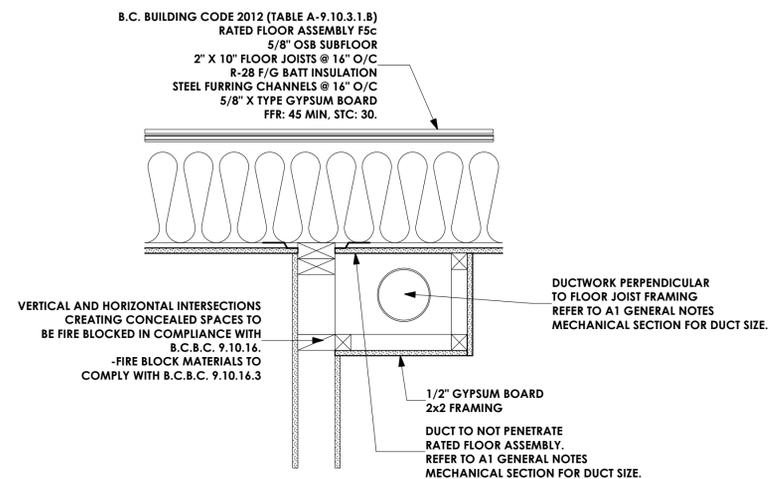
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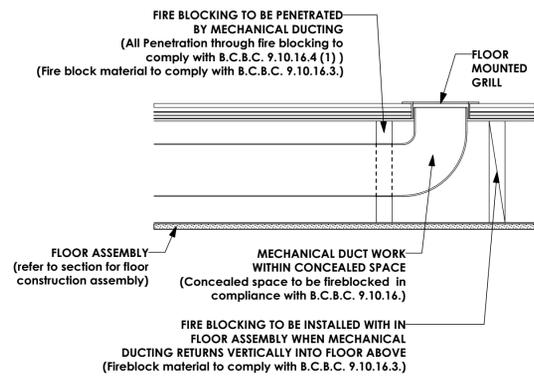
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D2
Basement Furring Wall
Scale: 1 1/2" = 1'-0"



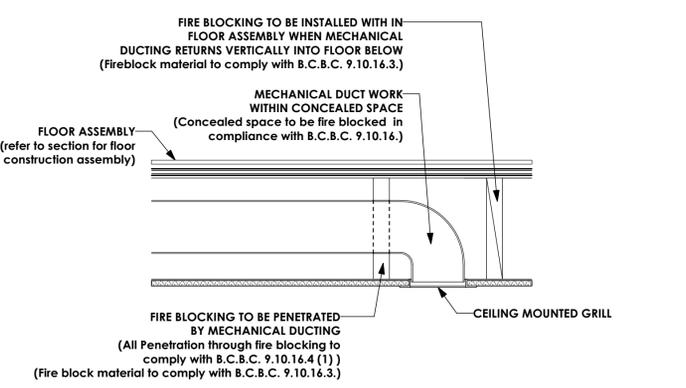
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D2
Basement Furring Wall
Scale: 1 1/2" = 1'-0"



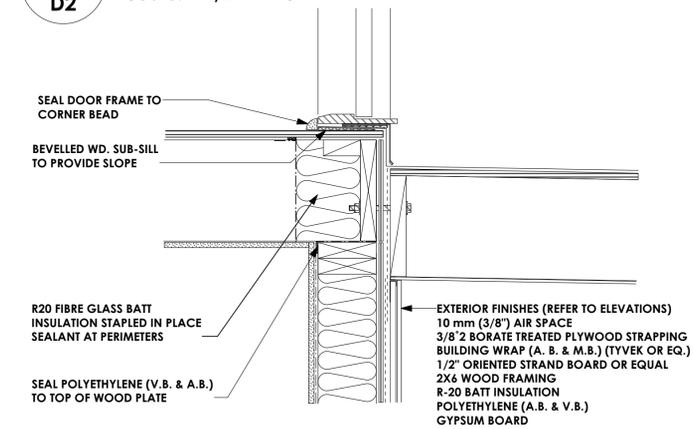
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D2
Fire Blocking Bulkheads
Scale: 1 1/2" = 1'-0"



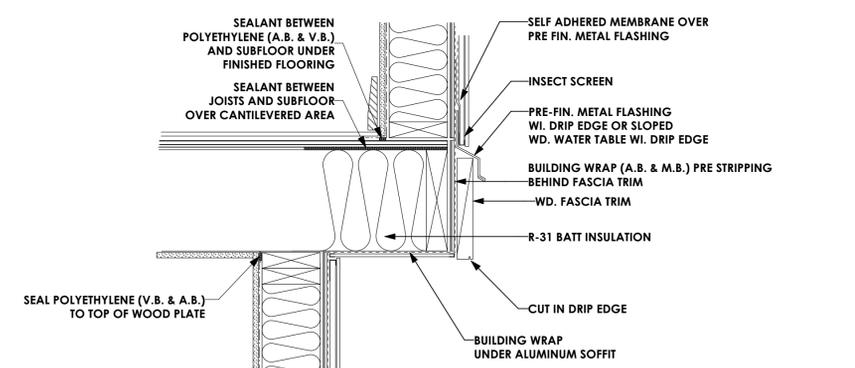
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D2
Fire Blocking Within Floor Detail A
Scale: 1 1/2" = 1'-0"



7
D2
Fire Blocking Within Floor Detail B
Scale: 1 1/2" = 1'-0"



3
D2
Door Sill Protected Membrane
Scale: 1 1/2" = 1'-0"



4
D2
Cantilevered Floor
Scale: 1 1/2" = 1'-0"

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